



Inspection Report

Rick Ayala

Property Address:

1452 Via Merano Street

Henderson NV 89052



Republic Home Inspections LLC

Randy House IOS-535-RES

1930 Village Center Circle #3-236

Las Vegas NV, 89134

(702) 259-2551 Office

(702) 493-7776 Cell

Date: 4/17/2024	Time: 03:00 PM	Report ID: 041724-104
Property: 1452 Via Merano Street Henderson NV 89052	Customer: Rick Ayala	Real Estate Professional: Steve Thomas The Thomas Group

Comment Key or Definitions

The following definitions of comment descriptions represent this inspection report. All comments by the inspector should be considered before purchasing this property. Any recommendations by the inspector to repair or replace suggests a second opinion or further evaluation by a qualified licensed contractor. All costs associated with further evaluation fees and or repair or replacement of item(s), component(s) or unit(s) should be considered before you purchase the property.

Inspected = Visually inspected item(s), component(s) or unit(s) and if no other comments were made then it appeared to be functioning as intended allowing for normal wear and tear.

Not Inspected = This / these item(s), component(s) or unit(s) was / were not inspected and made no representation(s) of whether or not if they were functioning as intended.

Not Present = This / these item(s), component(s) or unit(s) were not present, missing or not originally installed in or on this property or building.

Repair or Replace = The item(s), component(s) or unit(s) was / were not functioning as intended, or needs further evaluation by a qualified licensed contractor. Item(s), component(s) or unit(s) that can be repaired to satisfactory condition may not need replacement.

Client Present:

Yes

Occupancy Status:

Partially Furnished / Unoccupied

All Utilities Turn On:

Yes

Age of Property:

Over 20 Years

Outside Temperature:

Over 80 Degrees

Weather:

Clear and Warm

Rain or Snow in last 3 days:

No

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✓ RESULTS AT A GLANCE

99

✓ ITEMS INSPECTED
Total number in report.

52

📄 SUMMARY COMMENTS
Total number in report.

4

🎥 VIDEOS
Total number in report.

206

📷 PHOTOS
Total number in report.

🏠 1. ROOFING SYSTEMS

☰ DESCRIPTION

The Property inspector shall inspect and evaluate the condition; Of the visible roof covering material; roof drainage systems; flashings, skylights, chimneys, and roof penetrations; and Signs of' leaks or abnormal condensation on building components. The inspector shall: Report the method used to observe the roof covering and related components. The inspector shall: Identify and describe the type of visible roof covering materials; the type of roof structure, The inspector shall: Identify and describe the type of ventilation (method being used), gable, roof, turbine vents, or soffit panel vents and report on excessive heat or condensation on building surfaces or visible blocked vents; the condition of the visible skylights and flashing. The inspector shall identify and describe: the condition, type of insulation and the thickness, of visible insulation in unfinished spaces; The inspector is not required to: Walk on roofs that are more than twelve feet (12.')or higher; or that may be a danger to the inspector or damage the roof covering. The inspector is not required; to move insulation that obstructs his access to or visibility to attic areas. Observe attached accessories including but not limited to antennae and lightning arrestors.

✂ STYLES & MATERIALS: ROOFING SYSTEMS

ROOF STYLE:

GABLE
HIP

ROOF COVERING:

CONCRETE TILE

VIEWED ROOF COVERING

FROM:
VIEWED ROOF FROM LADDER
AT EDGE OF ROOF

TYPE OF ROOF DRAINAGE:

GUTTERS AND DOWNSPOUTS
ROOF VALLEYS

TYPE OF VENTALATION:

GABLE VENTS
ROOF VENTS
SOFFIT VENTS

TYPE OF ATTIC INSULATION:

BLOWN (6 to 10 inches)

CHIMNEY (exterior):

STUCCO/METAL FLUE PIPE
METAL FLUE PIPE
METAL FLUE VENT

👁 INSPECTION ITEMS: ROOFING SYSTEMS

1.0 ROOF COVERINGS

📋 INSPECTED, REPAIR OR REPLACE

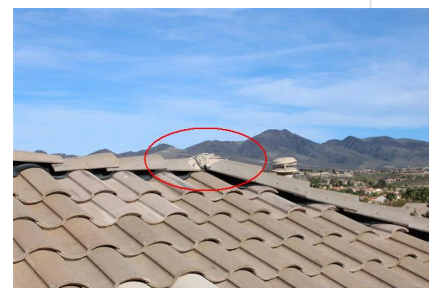
1. FYI: Tile roofs have a life of up to 100 years and have been shown to withstand hurricane force winds. The limiting factor in tile roof installations is the roof's underlayment, which can last 15 -25 -40 years depending on the quality of the installation, how well the roof is maintained, due to the weather conditions in Southern Nevada area. I recommend further evaluation by a licensed roofing contractor to ensure water tightness of the building.
2. Damaged/missing/repaired/replaced roof tiles with signs of deterioration at the sealant at ridge tiles and flashing areas observed at various locations. It is difficult to determine if there are any active or passive leaks at roof areas. Recommend further evaluation of the entire roof and related components and have the appropriate repairs completed by a licensed roofing contractor to ensure water tightness of the building.
3. FYI: Due to several new concrete tiles that have been added to the roof and the evidence of what appears to be worn/defective concrete tiles. It is recommended you have a qualified licensed roofer further evaluate the entire overall condition of the concrete tiles/roof.
4. FYI: Inspector did not walk this roof due to possible faulty concrete tiles. Therefore several areas of this roof were not visible at the time of inspection.



1.0 Item 1(Picture)



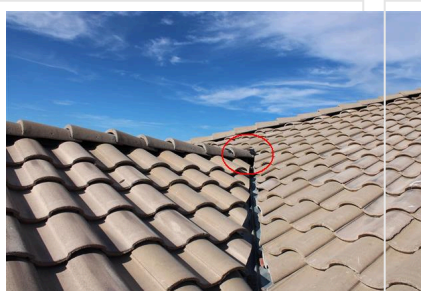
1.0 Item 2(Picture)



1.0 Item 3(Picture)



1.0 Item 4(Picture)



1.0 Item 5(Picture)



1.0 Item 6(Picture)



1.0 Item 7(Picture)



1.0 Item 8(Picture)

1.1 VENTS AND FLASHINGS

INSPECTED, REPAIR OR REPLACE

The asphalt plastic cement around the roof jacks are in need of re-sealing.



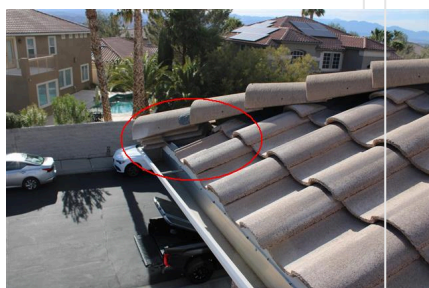
1.1 Item 1(Picture)



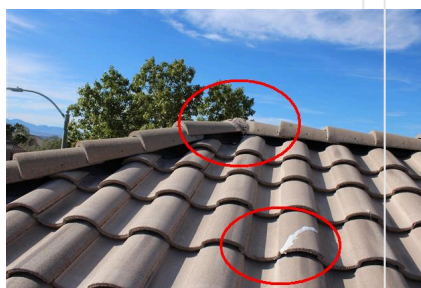
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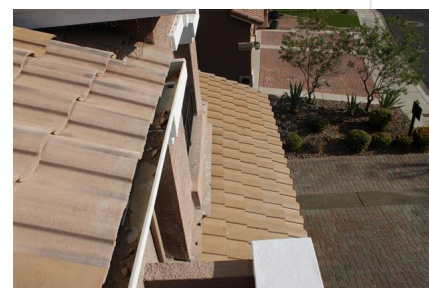
1.1 Item 3(Picture)



1.1 Item 4(Picture)



1.1 Item 5(Picture)



1.1 Item 6(Picture)

1.2 ROOFING DRAINAGE SYSTEMS

INSPECTED

1.3 CHIMNEYS AND ROOF PENETRATIONS

INSPECTED

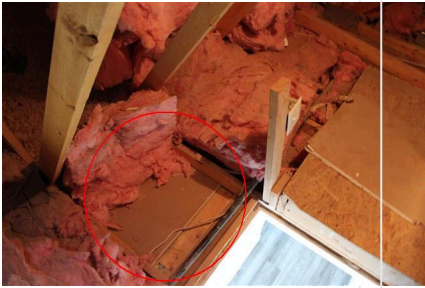
1.4 EAVES, SOFFITS, FASCIAS AND BIRD STOPS

INSPECTED

1.5 INSULATION AND VAPOR RETARDERS: EVALUATION AND CONDITION (LOCATED IN UNFURNISHED AREAS)

INSPECTED, REPAIR OR REPLACE

Insulation is displaced or missing, located in the attic area at several locations. Replace as needed for proper insulation resistance and in order to conserve energy. Recommend further evaluation and repairs/ replacement by a licensed contractor at all needed locations.



1.5 Item 1(Picture)



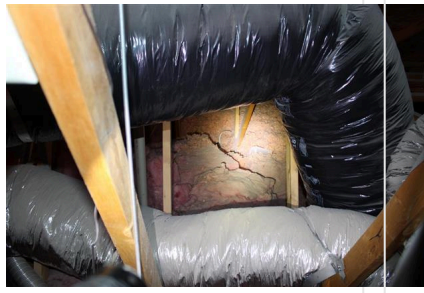
1.5 Item 2(Picture)



1.5 Item 3(Picture)



1.5 Item 4(Picture)



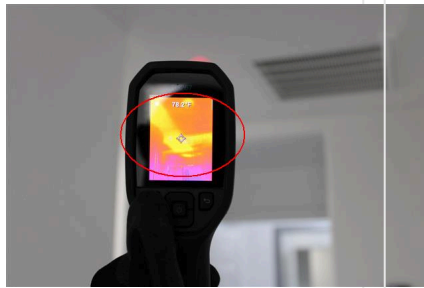
1.5 Item 5(Picture)



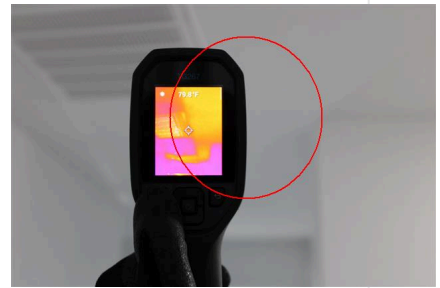
1.5 Item 6(Picture)



1.5 Item 7(Picture)



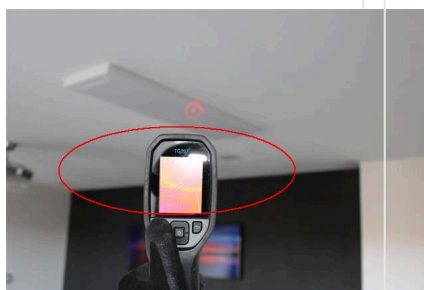
1.5 Item 8(Picture)



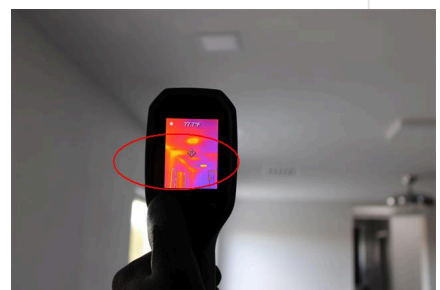
1.5 Item 9(Picture)



1.5 Item 10(Picture)



1.5 Item 11(Picture)



1.5 Item 12(Picture)

1.6 VENTILATION OF ATTIC, FOUNDATION & GARAGE

☑ INSPECTED

🏠 2. SITE OF STRUCTURE

📄 DESCRIPTION

The Property inspector shall inspect and report on Visible; Land Grading, Water Drainage, Retaining walls, Driveways and Walkways, Porches, and Patios. The inspector shall observe, identify and evaluate materials and conditions: Including drainage, grading, above ground vegetation(that may affect the exterior of the structure), grade steps, driveways, walkways, patios and retaining walls and other items that are contiguous to the subject property and how they may adversely affect the structure or the exterior of the structure. The inspector is not required to move or remove occupants belongings, snow or ice; test grounds lighting systems, watering & irrigation systems but may, by option, report significant visible deficiencies or potential concerns, if any, may be reported below.

🔧 STYLES & MATERIALS: SITE OF STRUCTURE

TYPE DRIVEWAY/ WALKWAYS:

CONCRETE
CONCRETE PAVERS

TYPE OF RETAINING WALLS:

BLOCK MASONRY WALLS

👁️ INSPECTION ITEMS: SITE OF STRUCTURE

2.0 DRAINAGE AND GRADING: OBSERVATION AND EVALUATION (WHICH MAY ADVERSELY AFFECT THE STRUCTURE)

📋 INSPECTED, REPAIR OR REPLACE

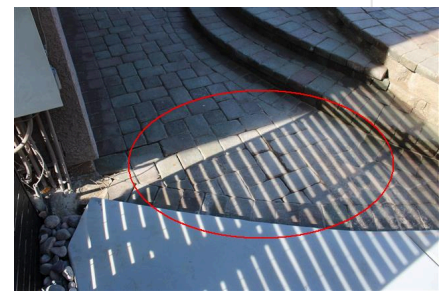
1. There was evidence excessive moisture and effervescence observed near the foundation and top side of soils of this home. Located at the front NW side of this home. Recommend further evaluation buy a licensed professional. Inspector could not determine if there is an active or passive leak at this area. The main water meter flow gauge was turning when checked at time of inspection. Perhaps seller has an explanation about the current condition.
2. Negative slope of grading (soil / landscaping / concrete), located in the backyard next to the barbecue and at at few other locations of this property. These areas do not drain water away from the home and need drainage corrected. Recommend further evaluation and repairs by a licensed contractor as needed at needed locations.



2.0 Item 1(Picture)



2.0 Item 2(Picture)



2.0 Item 3(Picture)

2.1 ABOVE GRADE AND VEGETATION: OBSERVATION AND EVALUATION (WHICH MAY ADVERSELY AFFECT THE EXTERIOR OF THE STRUCTURE)

📁 INSPECTED, REPAIR OR REPLACE

Tree is planted too close to this home and has grown sideways. Over time this condition may disturb the foundation or structure of this home. Recommend monitoring & or removing it in order to prevent this from occurring.



2.1 Item 1(Picture)

2.2 FENCING / GATES OR ATTACHED WALLS (WITH RESPECT TO THE AFFECT ON THE STRUCTURE AND SAFETY)

📁 INSPECTED, REPAIR OR REPLACE

1. Metal fencing at the backyard east side of property has signs of deterioration, damage, not properly secured down with evidence of rusted posts, etc. Recommend further evaluation and proper repairs/replacement by a qualified licensed contractor at all needed locations for safety enhancements.
2. The south side gate did not self close and latch. When a pool or spa has been added to a homes yard, it is required and recommended that the gates are self closing & self latching. Please make the appropriate corrections for safety. Recommend further evaluation and repairs by a licensed contractor for safety enhancements.



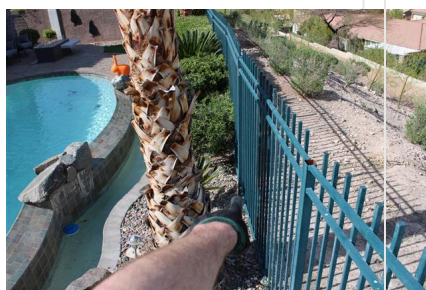
2.2 Item 1(Picture)



2.2 Item 2(Picture)



2.2 Item 3(Picture)



2.2 Item 4(Picture)



2.2 Item 5(Picture)

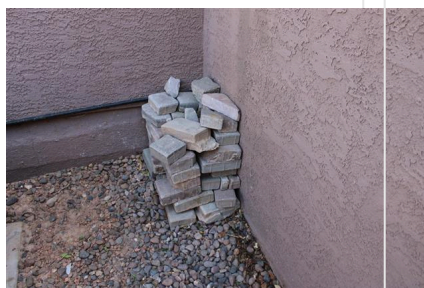
2.3 CONDITION AND EVALUATION OF DRIVEWAYS AND WALKWAYS

INSPECTED, REPAIR OR REPLACE

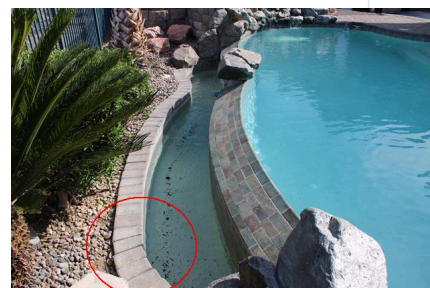
1. Several concrete paver tiles in the backyard were uneven/displaced/settled/missing paver sand, etc, with a few loose paver tiles at the steps and edge sides areas of decking at various locations. Recommend further evaluation and repairs/proper corrections by a qualified licensed contractor at all needed locations for safety enhancements.
2. Negative slope of grading at the pavers next to barbecue. Extra soil materials may be needed under the pavers due to washed out grading at the underside areas of tiles.



2.3 Item 1(Picture)



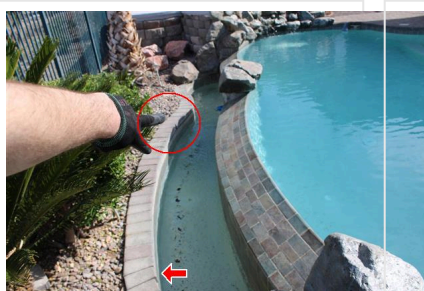
2.3 Item 2(Picture)



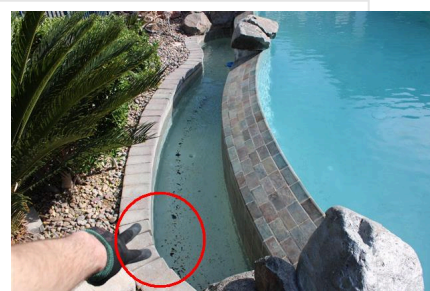
2.3 Item 3(Picture)



2.3 Item 4(Picture)



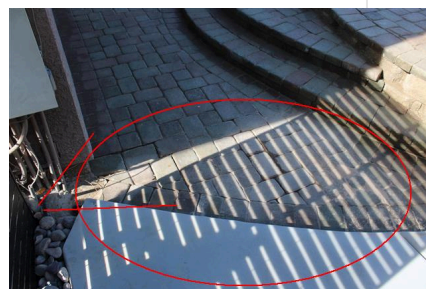
2.3 Item 5(Picture)



2.3 Item 6(Picture)



2.3 Item 7(Picture)



2.3 Item 8(Picture)

2.4 RETAINING WALLS: EVALUATION (WITH RESPECT TO THE AFFECT ON THE STRUCTURE AND SAFETY)

INSPECTED

2.5 DECKS, BALCONIES, STOOPS, STEPS, AREAWAYS, PORCHES AND APPLICABLE RAILINGS

INSPECTED, REPAIR OR REPLACE

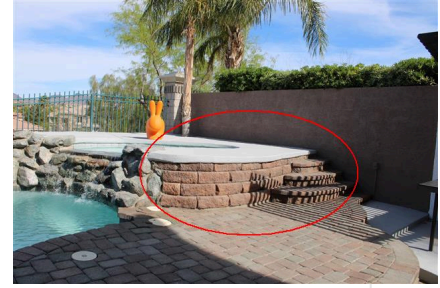
Missing railing at the pool/spa decking areas. Recommend further evaluation and repairs/proper corrections by a licensed contractor for safety enhancements.



2.5 Item 1(Picture)



2.5 Item 2(Picture)



2.5 Item 3(Picture)

3. STRUCTURAL COMPONENTS

DESCRIPTION

The Property inspector shall inspect; the Visible foundation(s), structure, walls, columns, floors, and roofs; The inspector will identify and describe the Visible type of foundation, floor structure, wall structure, columns, ceiling structure, roof structure, and attached or firmly abutting decks, balconies, and railings; visible ventilation components, techniques and applications for the attic and foundation. The inspector will probe; the structural components in which deterioration is suspected, unless the probe will damage any finished surface. The inspector will enter; under crawl spaces or attic areas, Except when access is obstructed or not readily accessible; entry could damage the property; be dangerous; or adverse conditions are obvious or suspected. The inspector will observe and report visible; water penetration or abnormal or harmful condensation on building components. The inspector will describe; visible structural damage to the foundation, or framing members. The inspector DID look for evidence of past or present leaks or harmful moisture issues in visually accessible areas. The inspector also looked for any visible structural damage to framing members and the foundation system. Significant visible deficiencies or any potential concerns, if any, are reported below. The inspector is not required to: Move personal items, panels, furniture, equipment, plant life, soil, snow, ice or debris that obstructs access or visibility to the foundation area.

STYLES & MATERIALS: STRUCTURAL COMPONENTS

ROOF STRUCTURE:

ENGINEERED WOOD TRUSS
 NOT FULLY VISIBLE
 2X4 RAFTERS
 LATERAL BRACING
 COMMON BOARD
 WOOD SLATS
 PLYWOOD
 SHEATHING

TYPE OF STRUCTURE:

WOOD FRAMING STUCCO
 COVERED
 2 X 4 WOOD FRAMING
 NOT VISIBLE

FOUNDATION:

POURED CONCRETE

FLOOR STRUCTURE:

CONCRETE SLAB
 ENGINEERED FLOOR TRUSS
 WOOD JOISTS
 NOT VISIBLE

CEILING STRUCTURE:

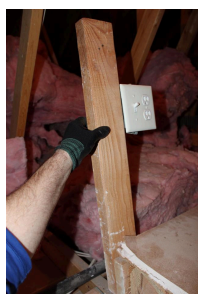
2 X 4 WOOD FRAMING
 NOT VISIBLE

INSPECTION ITEMS: STRUCTURAL COMPONENTS

3.0 ROOF STRUCTURE AND ATTIC AREAS EVALUATION AND CONDITION

 INSPECTED, REPAIR OR REPLACE

In the attic space. The cat walk/wood platform at the front side of the south side HVAC unit was loose and or not properly secured down. There were other loose structural components at these areas. Recommend further evaluation and repairs/replacement by a qualified licensed contractor at all needed locations.



3.0 Item 1(Picture)



3.0 Item 2(Picture)



3.0 Item 3(Video)
Video available online only.

3.1 FOUNDATIONS

INSPECTED, REPAIR OR REPLACE

Minor settlement cracks noted at the north side concrete foundation areas: Monitor the situation and repair as needed. Recommend further evaluation and possible repairs by a licensed contractor.



3.1 Item 1(Picture)

3.2 CEILINGS (STRUCTURAL)

INSPECTED

3.3 FLOOR (STRUCTURAL)

INSPECTED

3.4 WALL (STRUCTURAL)

INSPECTED

3.5 BUILDING, ROOM ADDITIONS OR MODIFICATIONS

📄 INSPECTED, REPAIR OR REPLACE

FYI: It is recommended that you check with the Seller and or their agent about proper building permits obtained during the building process of this property to ensure proper permits were obtained and building requirements were enforced during re-modeling/ construction throughout the entire building process of all structures, electrical components, grounds, plumbing, etc. FYI: It appears some of the work performed during the remodel process may not have been performed by licensed contractors at various locations throughout.

The client is advised to consider all findings in this report associated with harmful or abnormal moisture conditions such as (but not limited to) stains, water leaks of any type. And any conditions conducive to the growth of molds and other fungi inside of and on building components, whether direct information regarding mold is provided by the inspector or not. Further investigation on your part and by your own selection of qualified contractors and industry experts is warranted and encouraged if any water-damage, abnormal or harmful water condensation or penetration into the structure is identified.

4. EXTERIOR

DESCRIPTION

The Property inspector shall inspect, evaluate and operate: Wall cladding, flashings, and trim; Accessible entryway doors and a representative number of visible windows; Decks, balconies, stoops, steps, areaways, porches and applicable railings; The inspector shall: Identify the type of wall covering materials; Operate garage doors manually or by using permanently installed controls (automatic garage door openers); Report on whether or not the garage door will automatically reverse only when the light beam of the sensor is activated. The inspector will not test or inspect the opener by using physical resistance during the closing process. Probe exterior wood components where deterioration is suspected. The inspector is not required to observe or evaluate: Storm windows, storm doors, screening, shutters, awnings, and similar seasonal accessories; Fences; Presence of safety glazing in doors and windows; Garage door operator remote control transmitters; Geological conditions; Soil conditions; Recreational facilities (including spas, saunas, steam baths, swimming pools, tennis courts, playground equipment, and other exercise, entertainment, or athletic facilities); Detached buildings or structures; or Presence or condition of buried fuel storage tanks. The inspector is not required to: Move personal items, panels, furniture, equipment, plant life, soil, snow, ice or debris that obstructs access or visibility.

STYLES & MATERIALS: EXTERIOR

SIDING MATERIAL:

STUCCO
WOOD
STONE VENEER

EXTERIOR ENTRY DOORS:

WOOD
METAL
INSULATED GLASS
STEEL
GOOD
GLASS PANE
FIBERGLASS
Garage door fire rated

WINDOW TYPES:

THERMAL/INSULATED
SLIDERS
SINGLE-SASH
GLASS / ACRYLIC BLOCK
CASEMENT
FIXED WINDOWS

GARAGE DOOR TYPE:

ROLL- UP
TWO AUTOMATIC

PATIO ROOF COVERING:

OPEN DESIGN ROOF

TYPE OF PATIO COVER:

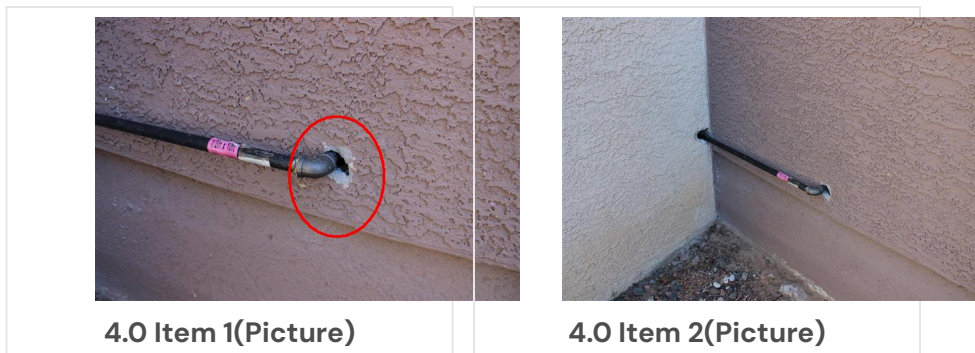
WOOD CONSTRUCTION
ALUMINUM
STUCCO COVERED WOOD
Metal
IRON

INSPECTION ITEMS: EXTERIOR

4.0 WALL CLADDING, FLASHING AND TRIM

 INSPECTED, REPAIR OR REPLACE

Large opening at the exterior wall on the north side of property at added gas line. Corrections recommended.



4.0 Item 1(Picture)

4.0 Item 2(Picture)

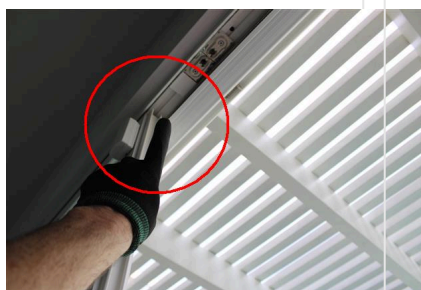
4.1 EXTERIOR DOORS

INSPECTED, REPAIR OR REPLACE

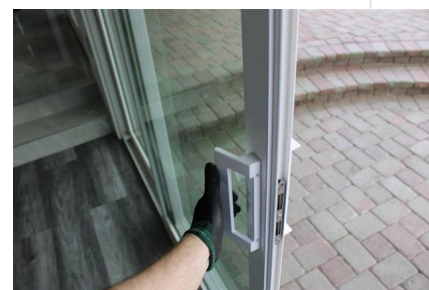
1. At the family room double sliding glass doors. Both doors were difficult to operate and in need of adjustments and repairs to function properly. Recommend further evaluation and repairs by a qualified licensed contractor to ensure both doors function properly.
2. At the kitchen double exterior doors to patio in backyard. There was visible light at the bottom side of both doors. Recommend further evaluation and repairs/proper corrections by a licensed contractor.
3. Rear patio sliding screen doors were not present at time of inspection. Corrections recommended for safety enhancements.
4. The door from the garage to home is a fire rated/solid core door, and is required to be a self closing, self latching door. Dead bolt was difficult to operate. This door did not automatically, fully close and latch when tested. Recommend adjustment or repair for safety by using a licensed contractor.
5. Dead bolt missing at the south side garage exterior door. This door rubs on the threshold during operation. Recommend further evaluation and repairs by a licensed contractor.
6. At the upstairs front room that connects to balcony. The double exterior doors do not fully close, leaving visible light. Recommend further evaluation and repairs by a licensed contractor to ensure both of these doors fully close and seal.
7. Exterior doors to the balcony at the master bedroom are in need of adjustments and repairs to properly seal. Contractor recommended.



4.1 Item 1(Picture)



4.1 Item 2(Picture)



4.1 Item 3(Picture)



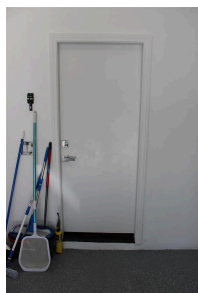
4.1 Item 4(Picture)



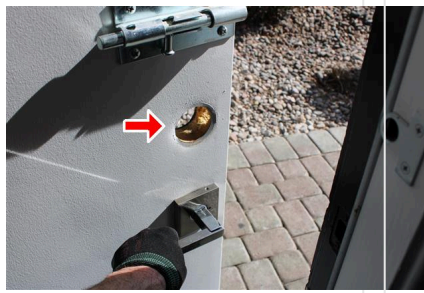
4.1 Item 5(Picture)



4.1 Item 6(Picture)



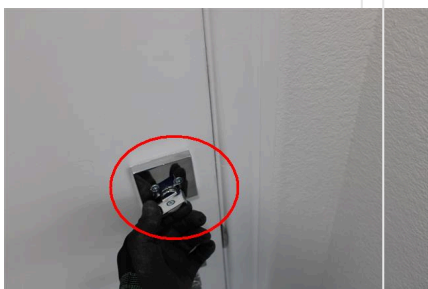
4.1 Item 7(Picture)



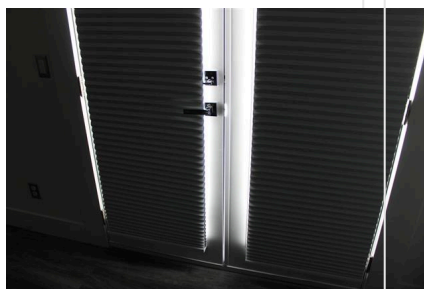
4.1 Item 8(Picture)



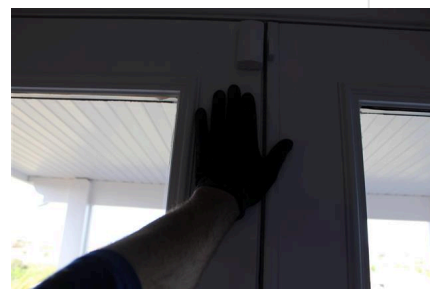
4.1 Item 9(Picture)



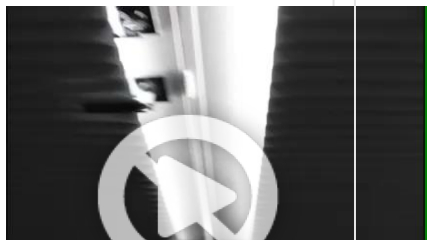
4.1 Item 10(Picture)



4.1 Item 11(Picture)



4.1 Item 12(Picture)



Video available online on 4.1 Item 13(Video)



4.1 Item 14(Picture)

4.2 WINDOWS: EXTERIOR OBSERVATION

📋 INSPECTED, REPAIR OR REPLACE

1. Window screens were missing at various windows. Corrections recommended for safety enhancements.
2. Visible light at the large living room window while in the closed position. Recommend further evaluation and repairs by a licensed window contractor.



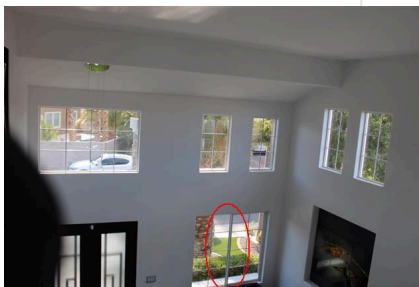
4.2 Item 1(Picture)



4.2 Item 2(Picture)



4.2 Item 3(Picture)



4.2 Item 4(Picture)

4.3 GARAGE DOOR AND OPERATORS

☑ INSPECTED

4.4 PATIO DECK / COVERINGS

☑ INSPECTED

The client is advised to consider all findings in this report associated with harmful or abnormal moisture conditions such as (but not limited to) stains, water leaks of any type. And any conditions conducive to the growth of molds and other fungi inside of and on building components, whether direct information regarding mold is provided by the inspector or not. Further investigation on your part and by your own selection of qualified contractors and industry experts is warranted and encouraged if any water-damage, abnormal or harmful water condensation or penetration into the structure is identified.

🏠 5. PLUMBING SYSTEM

📄 DESCRIPTION

The Property inspector shall inspect and describe: The water supply and Visible distribution system, including: piping materials, supports, fixtures and faucets; functional flow; leaks; and cross connections; Interior drain, waste, and vent system, including: traps; drain, waste, and vent piping; leaks; and functional drainage; Hot water systems including: water heating equipment; normal operating controls; automatic safety controls; and chimneys, flues, and vents; supply piping, venting, and supports; readily accessible gas lines, and Sump pumps. The inspector shall describe: Water supply and Visible distribution piping materials; Drain, waste, and vent piping materials; Water heating equipment; and Location of main water supply shutoff device. The inspector shall operate all accessible plumbing fixtures, including faucets and all exterior faucets attached to the house, except where the flow end of the faucet is connected to an appliance. The inspector is not required to: State the effectiveness of anti-siphon devices; Determine whether water supply and waste disposal systems are public or private; Operate automatic safety controls; Operate any valve except water closet flush valves; Observe: Water conditioning or filtration systems; Fire and lawn sprinkler systems; On-site water supply quantity and quality; On-site waste disposal systems; Foundation irrigation systems; except as to functional flow and functional drainage; Swimming pools; Solar water heating equipment; or Observe the system for proper sizing, design, or use of proper materials. Fuel storage and distribution systems including: interior fuel storage equipment.

🔧 STYLES & MATERIALS: PLUMBING SYSTEM

<p>MAIN WATER SUPPLY ACTIVATED: ON</p>	<p>WATER SOURCE: PUBLIC</p>	<p>WATER PRESSURE: 50 PSI OR MORE</p>
<p>PLUMBING SUPPLY: COPPER / BRASS NOT VISIBLE PLASTIC</p>	<p>PLUMBING DISTRIBUTION: COPPER VANGARD VANEX (plastic piping) MULTI-OUTLET MANIFOLD (plastic piping) NOT VISIBLE</p>	<p>PLUMBING WASTE: PVC NOT VISABLE</p>
<p>LOCATION OF MAIN DRAINAGE COVERS: FRONT YARD</p>	<p>WATER HEATER POWER SOURCE: NATURAL GAS</p>	<p>WATER HEATER CAPACITY: 50 GALLON</p>
<p>WATER FILTERS (Checks for Leaks Only): WHOLE HOUSE CONDITIONER</p>		

👁️ INSPECTION ITEMS: PLUMBING SYSTEM

5.0 MAIN WATER SUPPLY SHUT-OFF AND METER

📄 INSPECTED, REPAIR OR REPLACE

1. The water flow indicator at the meter was in motion, this indicates water being used. The inspector was unable to locate the source of water in use. Recommend Inquiry with the Seller about any Past changes in water consumption. You will need to contact a licensed plumber for a possible solution.

Recommend further evaluation and repair by a licensed plumber.

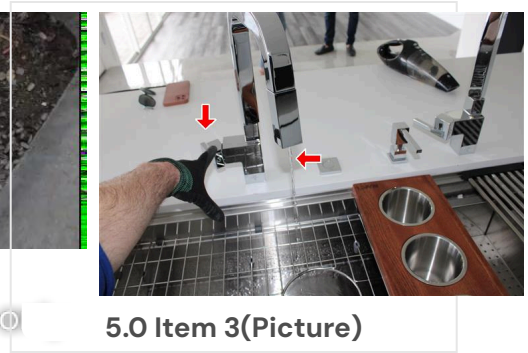
- 2. FYI: Water pressure/volume was poor at a few locations during inspection. Inspector was unable to fully determine as to why this condition was present. Recommend further evaluation and repairs/ replacement/opinion by a qualified licensed plumber. FYI: Pressure regulator may be too small and or in need of adjustments. Plumber is recommended.



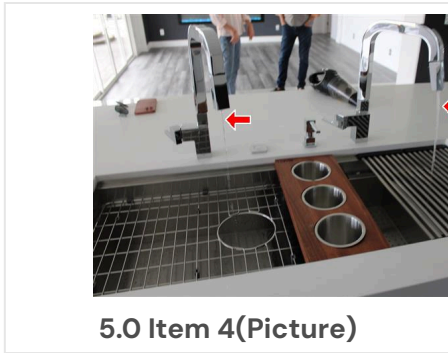
5.0 Item 1(Picture)



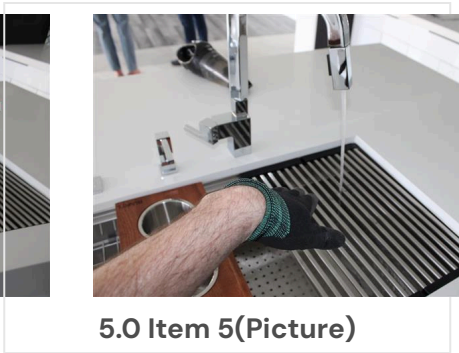
5.0 Item 2(Video)



5.0 Item 3(Picture)



5.0 Item 4(Picture)



5.0 Item 5(Picture)



5.0 Item 6(Picture)

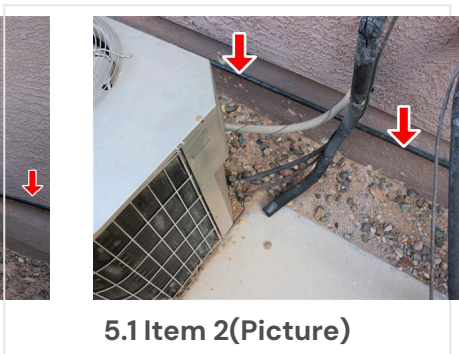
5.1 GAS SUPPLY (AT THE METER)

📋 INSPECTED, REPAIR OR REPLACE

FYI: Several added gas lines were present. These areas include the barbecue/pool/spa equipment, north side exterior wall to ground/underside of decking areas and at fireplaces. Check for building permits. Recommend further evaluation and repairs/replacement/proper corrections by a qualified licensed plumbing contractor at all needed locations.



5.1 Item 1(Picture)



5.1 Item 2(Picture)



5.1 Item 3(Picture)



5.1 Item 4(Picture)



5.1 Item 5(Picture)

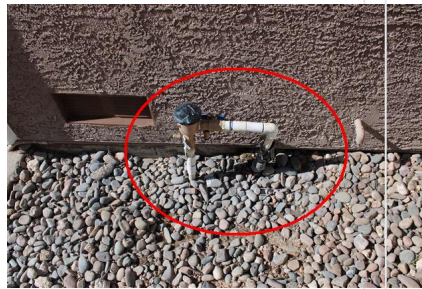
5.2 ANTI-SIPHON VALVES/SPRINKLERS (FOR LAWN SPRINKLERS OR POOL FILL IF PRESENT).

INSPECTED, REPAIR OR REPLACE

1. Suggest securing pipe insulation down at the PVC anti siphon valve lines in the backyard.
2. Excessive moisture, rust and deterioration was observed at the anti-siphon valve. Located at the front side of the home. Recommend repairing or replacing this component before a major leak develops.
3. Exposed pvc at the front yard sprinkler/bubbler systems anti-siphon valve lines. Suggest protecting from the outside elements.



5.2 Item 1(Picture)



5.2 Item 2(Picture)



5.2 Item 3(Picture)



5.2 Item 4(Picture)

5.3 EXTERIOR MAIN DRAINAGE (COVERS)

INSPECTED

5.4 EXTERIOR HOSE FAUCETS

INSPECTED, REPAIR OR REPLACE

There were no back flow preventers on the hose faucets. Recommend installing vacuum breakers in order prevent possible water cross-connection of potable water.



5.4 Item 1(Picture)

5.5 WATER HEATING SYSTEMS (WATER HEATER, FLUES AND COMBUSTION AIR).

INSPECTED, REPAIR OR REPLACE

Suggest a drain pipe be installed at the water heater drain pan.



5.5 Item 1(Picture)

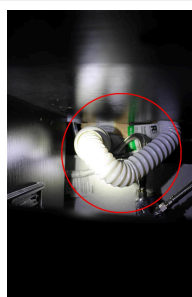
5.6 INTERIOR DRAINS,(CHECKED FOR LEAKS & FUNCTIONAL FLOW)

INSPECTED, REPAIR OR REPLACE

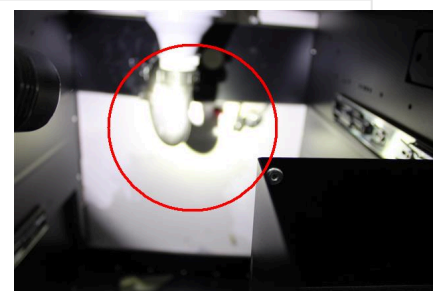
Improper type plumbing methods under all of the bathroom sinks at all bathrooms. Recommend further evaluation and repairs/replacement by a licensed plumber at all needed locations.



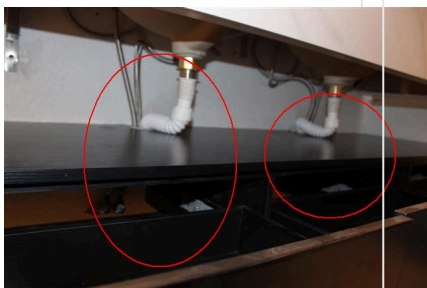
5.6 Item 1(Picture)



5.6 Item 2(Picture)



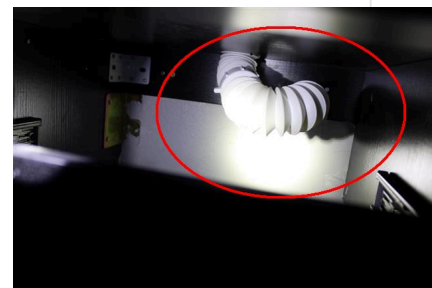
5.6 Item 3(Picture)



5.6 Item 4(Picture)



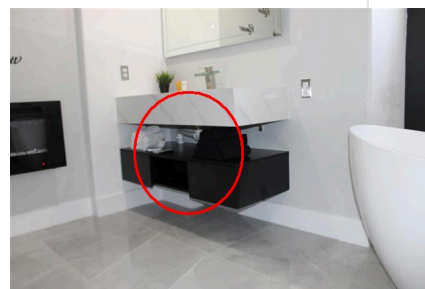
5.6 Item 5(Picture)



5.6 Item 6(Picture)



5.6 Item 7(Picture)



5.6 Item 8(Picture)

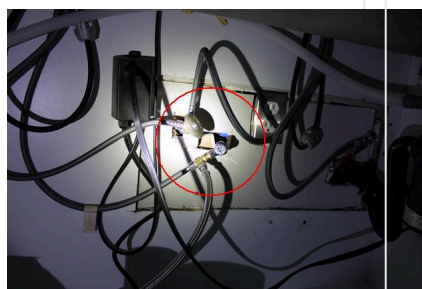
5.7 INTERIOR WATER SUPPLY AND DISTRIBUTION SYSTEMS AND FIXTURES

INSPECTED, REPAIR OR REPLACE

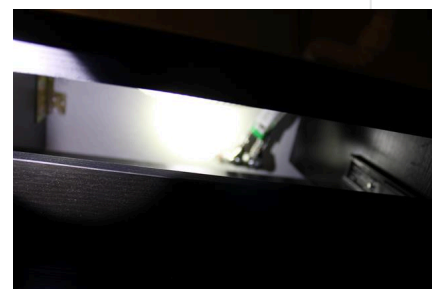
Plumbing water supply lines under sinks throughout this home appear to have been added. These lines were not properly supported, have openings around the pipes and drywall without covers around the pipe to wall areas. Corrections may be needed here. Check for building permits to ensure a licensed plumber installed all new added plumbing lines. Recommend further evaluation and repairs by a licensed plumber as needed at needed locations.



5.7 Item 1(Picture)



5.7 Item 2(Picture)

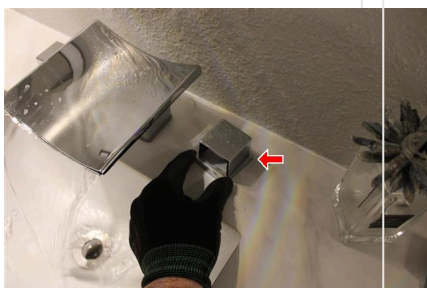


5.7 Item 3(Picture)

5.8 BATHROOM COMPONENTS

INSPECTED, REPAIR OR REPLACE

1. Water turn on handle/component at the left side sink in the upstairs bathroom was loose or not secured & sealed down. Plumber recommended.
2. At the upstairs bathroom. Recommend caulking at the sink to countertop areas.



5.8 Item 1(Picture)



5.8 Item 2(Picture)



5.8 Item 3(Picture)

5.9 KITCHEN COMPONENTS

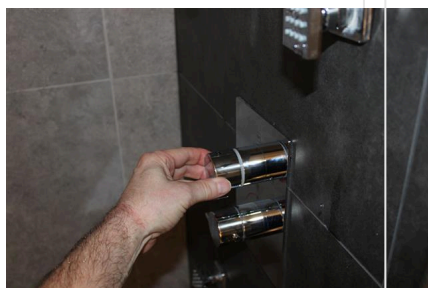
📁 INSPECTED, REPAIR OR REPLACE

Left side sink faucet at the kitchen countertop did not have had little to no water on the hot water side. After running both sink faucets for some time. The water pressure at both kitchen sink faucets also had little to no water pressure/water supply. Recommend further evaluation and repairs/replacement by a licensed plumber at all needed locations.

5.10 BATH TUB OR SHOWER FAUCETS & FIXTURES

📁 INSPECTED, REPAIR OR REPLACE

1. At the upstairs bathroom. The shower water turn on only allowed hot water to be present at the time of inspection. No cold water was present when the valve was tested. The turn on handle was loose. FYI: This condition may have been present due to low water pressure when tested. Recommend further evaluation and repairs/replacement by a licensed plumber at this shower and it's water turn on fixtures.
2. At the master bathroom shower. The spray wand connections leak during operation. Plumber recommended.



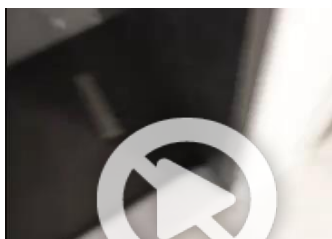
5.10 Item 1(Picture)



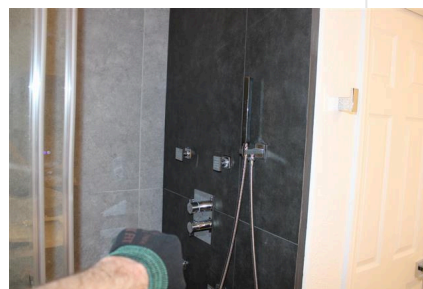
5.10 Item 2(Picture)



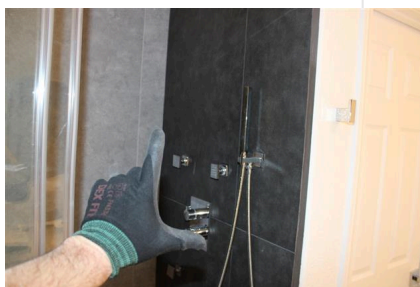
5.10 Item 3(Picture)



5.10 Item 4(Video)



5.10 Item 5(Picture)



5.10 Item 6(Picture)

5.11 WATER SOFTENER OR REVERSE OSMOSIS UNIT (CHECKED FOR LEAKS ONLY)

INSPECTED, REPAIR OR REPLACE

Inspector was unable to fully determine if all of the water softener components were present or not. Check with seller. Recommend further evaluation and service by a qualified appliance technician.



5.11 Item 1(Picture)

5.12 WASH SINK

INSPECTED, REPAIR OR REPLACE

Wash sink at the laundry room was not properly secured down at the time of inspection. Corrections recommended.



5.12 Item 1(Picture)

Client Advisory: IN THE EVENT that this home is identified as having "PLASTIC" water pipes and Not Copper.

Some types of plastic water piping and their associated connectors and fittings are currently involved, or may become involved, in construction defect litigation due to alleged product failures. Industry experts estimate that more than 50,000 homes in the Las Vegas valley may be affected. If the possibility of this house being involved or the possibility of having to replace the pipes and/or fittings in this home concerns you, I recommend that you contact a licensed, experienced, qualified Nevada plumbing contractor for consultation and further evaluation, before making a final decision on the purchase of this home.

🏠 6. ELECTRICAL SYSTEMS

☰ DESCRIPTION

The Property inspector shall inspect and describe the condition: Of visible Service entrance conductors; Service equipment, main overcurrent devices, grounding equipment, , and main and distribution panels; Amperage and voltage ratings of the service; Branch circuit conductors, their overcurrent devices, and the compatibility of their ampacities and voltages; The operation of a representative number of lighting fixtures, switches and receptacles, located inside the house, garage, and on the dwelling's exterior walls; The polarity and grounding of receptacles within six feet of interior plumbing fixtures, and receptacles in the garage or carport, and on the exterior of inspected structures; The operation of readily accessible GFCI's (ground fault circuit interrupters) AFCI's (arch fault circuit interrupters) (vacant homes only) by using the installed test button). The inspector shall describe: Service entry type as being overhead or underground; and Location of main and distribution panels. The inspector shall report any observed aluminum branch circuit wiring. **The inspector shall report on the presence or absence of smoke alarms / detectors, however will Not operate or test their function for various reasons. Recommend testing these safety devices upon moving in.** The inspector is not required to: Insert any tool, probe, or testing device inside the panels; Test or operate any overcurrent device except ground fault circuit interrupters; Dismantle any electrical device or control other than to remove the covers of the main and auxiliary distribution panels; or Observe: Low voltage systems; Security system devices, heat detectors, or carbon monoxide detectors; Telephone, security, cable TV, intercoms, or other ancillary wiring that is not a part of the primary electrical distribution system; or Built-in vacuum equipment.

✂ STYLES & MATERIALS: ELECTRICAL SYSTEMS

INCOMING SUPPLY: UNDER GROUND	MAIN PANEL CAPACITY (determined by main disconnect breaker): 200 AMP / 110/120 Volt Service	SUB PANELS CAPACITY: 100 AMP
MAIN FEED TO PANEL FROM METER: COPPER COPPER / ALUMINUM	LOCATION of MAIN Unit PANEL: Exterior Wall of the Garage	LOCATION of SUB PANELS: Interior wall of Garage
LOCATION OF MAIN SHUT OFF BREAKER: At The Main Eectrical Panel	LOCATION OF GFCI RESET RECEPTACLE: EXTERIOR & BATHROOMS- IN THE MAIN BATHROOM	GROUNDING METHOD (visible connections): Grounded to Rebar in Footer/ Foundation Not Visible Unable to Verify
PANEL TYPES: CIRCUIT BREAKERS	BRANCH WIRE 15 and 20 AMP: COPPER COPPER/ ALUMINUM	WIRING METHODS: NONMETALIC SHEATHING / ROMEX

👁 INSPECTION ITEMS: ELECTRICAL SYSTEMS

6.0 CONNECTED DEVICES AND FIXTURES (OBSERVED FROM A REPRESENTATIVE NUMBER OPERATION OF LIGHTING FIXTURES, SWITCHES AND RECEPTACLES LOCATED INSIDE THE HOUSE, GARAGE, AND ON THE DWELLING'S EXTERIOR WALLS)

📋 INSPECTED, REPAIR OR REPLACE

1. The door bell did not operate when tested at time of inspection. Recommend further evaluation and repairs/replacement by a qualified licensed contractor.
2. Several light switches that operate light fixtures at various locations throughout the home are functional but operate the light fixtures when the switch is in the opposite position as normal. Usually when the switch is in the down position the light should be off. In this case the light fixtures are on when switch is in the down position and off when in the up position. You may want to have this corrected by a certified electrical contractor.
3. Receptacle at the family room interior wall next to the sliding glass door was non functional at the bottom side outlet. Recommend further evaluation and repairs by a licensed electrician.
4. At the back porch exterior wall. The receptacle was not flush with the cover and top side outlet was broken. Electrician recommended.
5. Corrections suggested at the exterior yard light fixtures throughout exterior ground areas. These systems were unplugged and non functional when tested at time of inspection.
6. Light fixtures at the exterior walls had missing caulking. Corrections recommended for safety enhancements.
7. Missing cover plates at a few of the receptacles in garage. Corrections recommended.
8. Cord in garage that was plugged into outlet was improperly wired. Correct for safety.
9. Switches at the master bedroom interior wall were not flush with the cover.



6.0 Item 1(Picture)



6.0 Item 2(Picture)



6.0 Item 3(Picture)



6.0 Item 4(Picture)



6.0 Item 5(Picture)



6.0 Item 6(Picture)



6.0 Item 7(Picture)



6.0 Item 8(Picture)



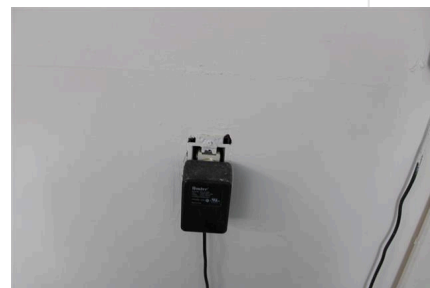
6.0 Item 9(Picture)



6.0 Item 10(Picture)



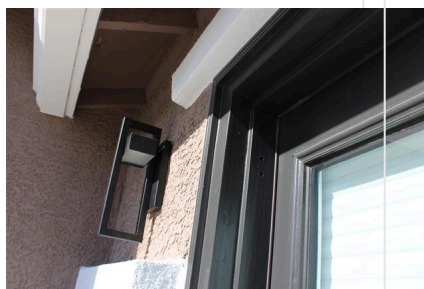
6.0 Item 11(Picture)



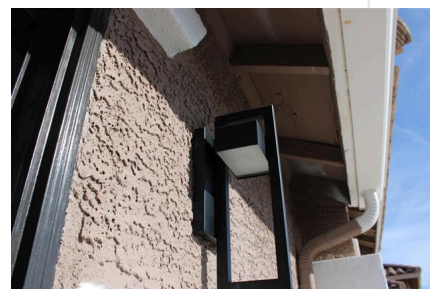
6.0 Item 12(Picture)



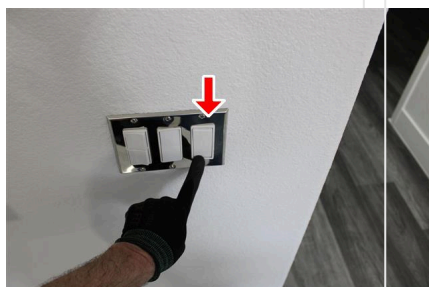
6.0 Item 13(Picture)



6.0 Item 14(Picture)



6.0 Item 15(Picture)



6.0 Item 16(Picture)



6.0 Item 17(Picture)



6.0 Item 18(Picture)



6.0 Item 19(Picture)



6.0 Item 20(Picture)

6.1 VISIBLE INCOMING POWER SUPPLY

☑ INSPECTED

6.2 MAIN DISTRIBUTION PANELS

☑ INSPECTED

6.3 SUB DISTRIBUTION PANELS

☑ INSPECTED

6.4 VISIBLE SERVICE ENTRANCE CONDUCTORS

☑ INSPECTED

6.5 VISIBLE SERVICE GROUNDING CONDUCTORS

☑ INSPECTED

6.6 BRANCH CIRCUIT CONDUCTORS, OVERCURRENT DEVICES AND COMPATIBILITY OF THEIR AMPERAGE AND VOLTAGE

☑ INSPECTED

6.7 POLARITY AND GROUNDING OF RECEPTACLES WITHIN 6 FEET OF INTERIOR PLUMBING FIXTURES, AND ALL RECEPTACLES IN GARAGE, CARPORT, EXTERIOR WALLS OF INSPECTED STRUCTURE

☑ INSPECTED

6.8 OPERATION OF GFCI (GROUND FAULT CIRCUIT INTERRUPTERS) TEST MONTHLY FOR SAFETY

📁 INSPECTED, REPAIR OR REPLACE

Receptacles at the kitchen island next to bar seats were not GFCI protected. Recommend further evaluation and repairs by a licensed electrician for safety enhancements.



6.9 SMOKE ALARMS / DETECTORS

📁 INSPECTED

- The smoke alarms/detectors are not tested for operation. Pushing the test-button does not guarantee they will operate properly in the event of a fire. Older units may be at the end of their useful service life or be out dated. Recommend replacing them with alarms that are state-of-the-art dual sensor and or voice alert units upon moving in. If Gas fired appliances are present, then it is recommended you install combination type smoke / carbon monoxide detectors upon moving in. For Safety. Suggest replacing all batteries at all detectors and properly dispose of old batteries.

6.10 ADDED ELECTRICAL CIRCUITS OR WIRING

📁 INSPECTED, REPAIR OR REPLACE

1. Improper wiring was observed, (wiring not properly enclosed in a approved casing or conduit), located at the north side exterior wall to grounds. Check for building permits. Recommend further evaluation and repair by a licensed electrical contractor.
2. Added electrical circuits were observed, however the inspector is unable to determine if this was

an appropriate installation. Located at the exterior wall directly under the main electrical panel, to grounds of this property. Check for building permits. Recommend further evaluation by a licensed electrical contractor.

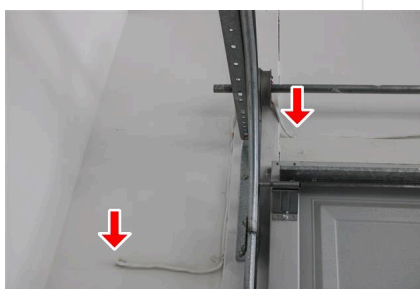
3. Improper wiring was observed, (wiring not properly enclosed in a approved casing or conduit), located in the garage at interior wall to exterior light fixtures. Recommend further evaluation and repair by a licensed electrical contractor.
4. Improper wiring was observed, (wiring not properly enclosed in a approved casing or conduit), located in the attic space at various locations. Recommend further evaluation and repair by a licensed electrical contractor at all needed locations. FYI: There may be other areas that have this condition that were not visible due to insulation.



6.10 Item 1(Picture)



6.10 Item 2(Picture)



6.10 Item 3(Picture)



6.10 Item 4(Picture)



6.10 Item 5(Picture)



6.10 Item 6(Picture)

🏠 7. INTERIORS

📋 DESCRIPTION

The Property inspector shall inspect: Walls, ceiling, and floors; Steps, stairways, balconies, and railings; The inspector shall: Operate a representative number of windows and interior doors; counters and a representative number of installed cabinets. The inspector shall inspect; and report on signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The inspector is not required to observe: Paint, wallpaper, and other finish treatments on the interior walls, ceilings, and floors; Carpeting; or Draperies, blinds, or other window treatments.

🔧 STYLES & MATERIALS: INTERIORS

CEILING:

DRYWALL

WALL MATERIAL:

DRYWALL
 PANELING

FLOOR COVERING(S):

TILE
 CARPET
 WOOD / SIMULATED WOOD

INTERIOR DOORS:

HOLLOW CORE
 RAISED PANEL

CABINETS:

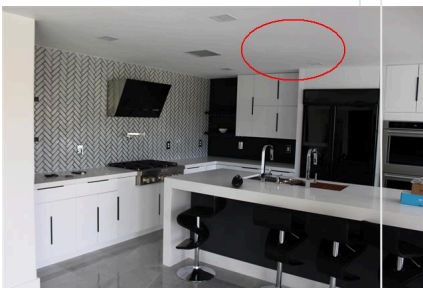
WOOD
 CUSTOM CABINETS
 UPGRADED CABINETS

👁️ INSPECTION ITEMS: INTERIORS

7.0 CEILINGS

📁 INSPECTED, REPAIR OR REPLACE

1. Patching or repair of the sheetrock was observed at the ceiling, located in the kitchen, living room & family room. The inspector is unable to determine the purpose or cause of these repairs. Recommend inquiry with the seller about any past damage, repair or moisture penetration.
2. TV's have been added to the ceiling and attic space areas. These added features are outside the scope of this inspection. It is possible the overall integrity of the energy efficiency of attic has been compromised. Inspector was unable to fully access the attic space of the areas these TV's have been added. Recommend further evaluation and opinion by a qualified licensed contractor at all needed locations here.



7.0 Item 1(Picture)



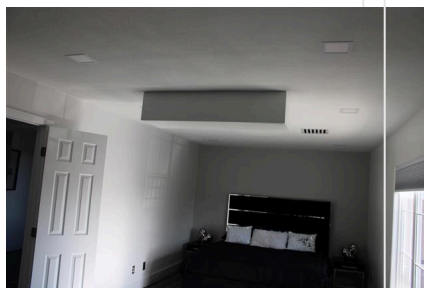
7.0 Item 2(Picture)



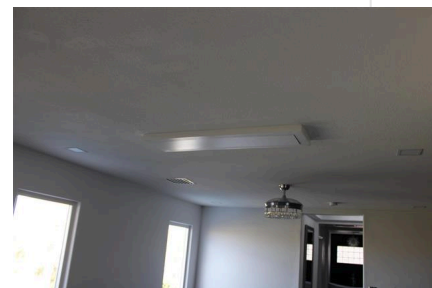
7.0 Item 3(Picture)



7.0 Item 4(Picture)



7.0 Item 5(Picture)



7.0 Item 6(Picture)



7.0 Item 7(Picture)



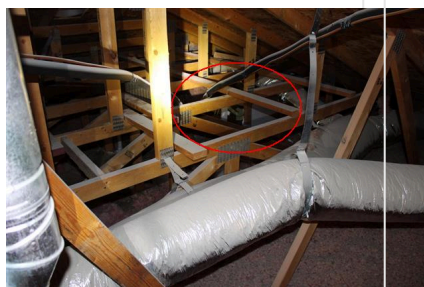
7.0 Item 8(Picture)



7.0 Item 9(Picture)



7.0 Item 10(Picture)



7.0 Item 11(Picture)



7.0 Item 12(Picture)

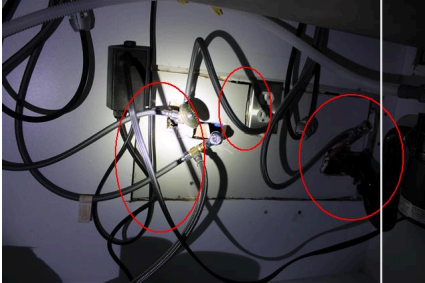
7.1 FLOORS

INSPECTED

7.2 WALLS

INSPECTED, REPAIR OR REPLACE

1. Missing drywall and unfinished/damaged areas under the kitchen sink at a few locations. Recommend further evaluation and repairs by a licensed contractor at all needed locations.
2. FYI: It appears a few and or several interior walls may have been removed during the re-modeling of this home. Check with seller. Check for building permits to ensure a qualified licensed contractor properly removed them. If walls have been removed. Inspector is unable to determine if any were weight bearing walls or not. If building permits are not available. It is recommended you have a qualified licensed contractor further evaluate, repair/replace/opinion at needed locations.



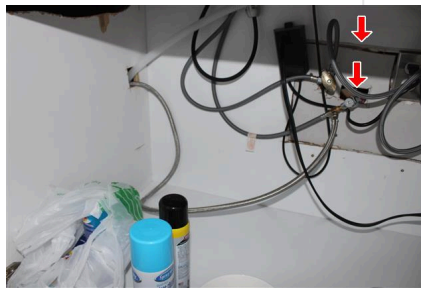
7.2 Item 1(Picture)



7.2 Item 2(Picture)



7.2 Item 3(Picture)



7.2 Item 4(Picture)

7.3 INTERIOR DOORS ; (A REPRESENTATIVE NUMBER TESTED AND INSPECTED FOR OPERATION)

☑ INSPECTED, REPAIR OR REPLACE

1. Interior door at the upstairs bedroom does not latch when door is fully closed.
2. Stationary door to the upstairs west side room does not properly latch into frame.
3. Interior double doors at the master bedroom are in need of adjustments to function properly.



7.3 Item 1(Picture)



7.3 Item 2(Picture)

7.4 INTERIOR WINDOWS: (A REPRESENTATIVE NUMBER TESTED AND INSPECTED FOR OPERATION)

☑ INSPECTED, REPAIR OR REPLACE

Window at the front living room

7.5 COUNTERS AND CABINETS: CHECKED FOR OPERATION (REPRESENTATIVE NUMBER TESTED AND

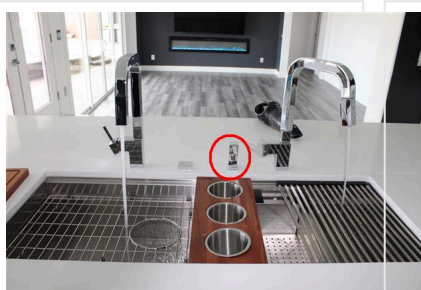
INSPECTED)

INSPECTED, REPAIR OR REPLACE

1. Soap dispenser at the kitchen sink countertop was not properly sealed and secured down with an opening at the top side of countertop. Recommend further evaluation and repairs by a licensed contractor.
2. Loose trim at the kitchen cabinet next to dishwasher and microwave. Corrections recommended.
3. Drawer to the right side of cooktop in kitchen did not function properly. Corrections recommended.
4. At the downstairs bathroom. The drawer to the right would not function properly. Corrections recommended by a licensed contractor.
5. Drawer at the wash sink cabinet does not operate properly. Corrections recommended.
6. Few drawers at the upstairs bathroom sink cabinet were difficult to operate and in need of adjustments and repairs to function properly.
7. Upstairs bathroom countertop wood component had split wood. Corrections recommended.
8. Drawers at the master bathroom sink cabinets were in need of adjustments and repairs to function properly. Recommend further evaluation and repairs by a licensed contractor.



7.5 Item 1(Picture)



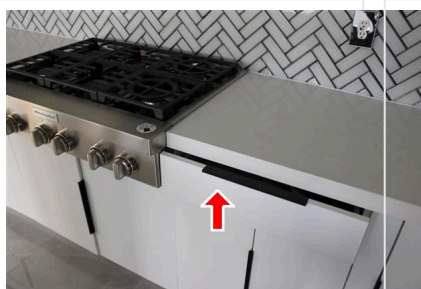
7.5 Item 2(Picture)



7.5 Item 3(Picture)



7.5 Item 4(Picture)



7.5 Item 5(Picture)



7.5 Item 6(Picture)



7.5 Item 7(Picture)



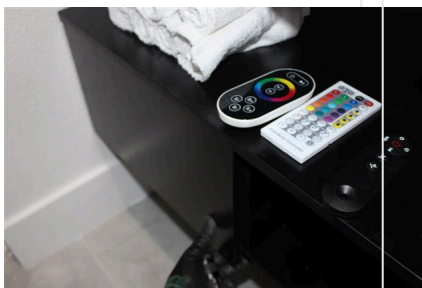
7.5 Item 8(Picture)



7.5 Item 9(Picture)



7.5 Item 10(Picture)



7.5 Item 11(Picture)



7.5 Item 12(Picture)



7.5 Item 13(Picture)

7.6 STEPS, STAIRWAYS, AND RAILINGS

INSPECTED, REPAIR OR REPLACE

Small opening at the metal handrail upstairs. Correct for safety at needed locations.



7.6 Item 1(Picture)

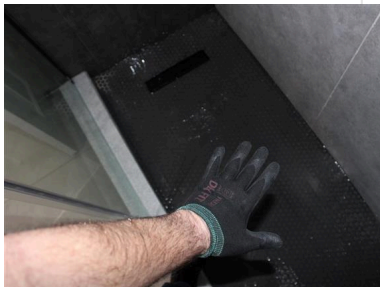
7.7 SHOWER DOORS

INSPECTED

7.8 BATH TUB / SHOWER WALLS AND ENCLOSURE

INSPECTED, REPAIR OR REPLACE

1. At the downstairs bathroom. The tile flooring at the shower does not properly slope & drain.
Recommend further evaluation and repairs/proper corrections by a qualified licensed contractor.
2. At the master bathroom. The tile flooring at the shower does not properly slope & drain.
Recommend further evaluation and repairs/proper corrections by a qualified licensed contractor.



7.8 Item 1(Picture)



7.8 Item 2(Picture)



7.8 Item 3(Picture)



7.8 Item 4(Picture)

7.9 BATHROOM FLOORS AND WALLS

INSPECTED, REPAIR OR REPLACE

With two story homes it is important that you maintain the caulking and sealing of all wet areas upstairs. This includes the floors, walls, tub & shower surrounds and the base of toilets. This will prevent moisture and or water penetration between floors that may cause damage to subflooring and the ceilings below.

7.10 LAUNDRY ROOM / AREAS

INSPECTED

7.11 GARAGE (INCLUDING THE CEILING, FLOORS AND THE WALLS)

INSPECTED, REPAIR OR REPLACE

The garage was not fully visible due to the occupants belongings, therefore some area's could not be fully viewed or inspected. Do a thorough evaluation at the final walk through.

7.12 CEILINGS, FLOORS AND WALLS

INSPECTED

FYI: This home appears to have been recently caulked, painted and refinished prior to the inspection. Therefore any signs of defects, stains or settlement have been covered over.

The client is advised to consider all findings in this report associated with harmful or abnormal moisture conditions such as (but not limited to) stains, base board damage or amiss, deterioration of drywall or water leaks of any type. And any conditions conducive to the growth of molds and other fungi inside of and on building components, whether direct information regarding mold is provided by the inspector or not. Further

investigation on your part and by your own selection of qualified contractors and industry experts is warranted and encouraged if any water-damage, abnormal or harmful water condensation or penetration into the structure is identified.

🏠 8. BUILT-IN KITCHEN APPLIANCES

☰ DESCRIPTION

The Property inspector shall inspect and operate the basic functions of the following Built-in kitchen appliances: Permanently installed dishwasher, through one normal cycle; Range, cook top, and permanently installed oven; Trash compactor (if present); Garbage disposal; Ventilation equipment or range hood; and Permanently installed microwave oven. The inspector is not required to observe: Clocks, timers, self-cleaning oven function, or thermostats for calibration or automatic operation; Non built-in appliances; or Refrigeration units. The inspector is not required to operate: Appliances in use; or Any appliance that is shut down or otherwise inoperable.

👁️ INSPECTION ITEMS: BUILT-IN KITCHEN APPLIANCES

8.0 GENERAL CONDITION OF KITCHEN

📋 INSPECTED, REPAIR OR REPLACE

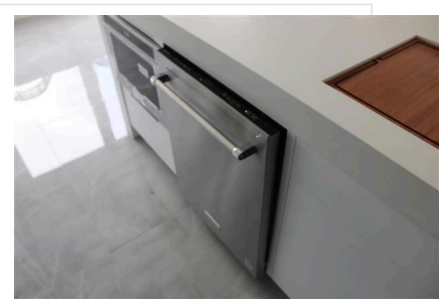
Freezer had missing shelves at the time of inspection. Corrections recommended.



8.1 DISHWASHER (OPERATED THROUGH ONE NORMAL CYCLE)

📋 INSPECTED, REPAIR OR REPLACE

1. The dishwasher was loose and not attached to the countertop properly. Recommend further evaluation and repairs by a licensed contractor.
2. Dishwasher was non functional at the time of inspection. Recommend further evaluation and repairs by a licensed appliance technician. This unit did not appear to be getting water during operation. This condition may be due to low/no water pressure issue. Plumber recommended.



8.2 RANGES / OVENS / COOKTOPS

📋 INSPECTED, REPAIR OR REPLACE

Cooktop at the kitchen countertop was not properly secured down. Recommend further evaluation and repairs by a licensed contractor.



8.2 Item 1(Picture)

8.3 RANGE / HOOD VENTILATION

☑ INSPECTED

8.4 GARBAGE DISPOSER

☑ INSPECTED

8.5 MICROWAVE COOKING EQUIPMENT

☑ INSPECTED

🏠 9. CENTRAL AIR CONDITIONING

📄 DESCRIPTION

The Property inspector shall inspect, evaluate and describe: The Central air conditioning and permanently installed cooling systems including: Cooling and air handling equipment; and Normal operating controls. Distribution systems including: Fans, pumps, ducts and piping, with associated supports, dampers, insulation, air filters, visible registers, fan-coil units; and The presence of an installed cooling source in each room. The inspector shall describe: Energy sources; and the type of Cooling equipment ; as well as the number of installed units. The inspector shall operate the systems using normal operating controls. The inspector shall open readily operable access panels provided by the manufacturer or installer for routine homeowner maintenance. The inspector is not required to Operate: cooling systems when weather conditions or other circumstances may cause equipment damage. operate window air conditioners, or evaporative coolers or; Observe the uniformity or adequacy of cool-air supply to the various rooms.

🔧 STYLES & MATERIALS: CENTRAL AIR CONDITIONING

COOLING EQUIPMENT ENERGY SOURCE:

ELECTRIC

DUCTWORK:

INSULATED

COOLING EQUIPMENT TYPE:

SPLIT-SYSTEM

AIR CONDITIONER UNIT

NUMBER OF A/C OR COOLING UNITS:

TWO

👁️ INSPECTION ITEMS: CENTRAL AIR CONDITIONING

9.0 AIR CONDITION EQUIPMENT

📋 INSPECTED, REPAIR OR REPLACE

1. FYI: A/C systems were functional at the time of inspection. It does not appear that the HVAC systems have been serviced within the last 12 months per manufactures recommendations. It is recommended that you have them serviced by a Licensed HVAC technician to ensure systems are functioning at fullest capacity.
2. Dirt buildup observed at the condensing coils. Located at the outside A/C units. Recommend cleaning and or clearing these coils at needed areas, this will aid in the proper operation and efficiency of the A/C systems and prevent damage to these units.



9.0 Item 1(Picture)



9.0 Item 2(Picture)



9.0 Item 3(Picture)

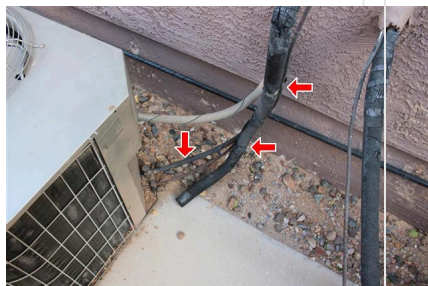
9.1 NORMAL OPERATING CONTROLS

✅ INSPECTED

9.2 DISTRIBUTION SYSTEMS (INCLUDING FANS, PUMPS, DUCTS AND PIPING, WITH SUPPORTS, INSULATION, AIR FILTERS, REGISTERS, RADIATORS, FAN COIL UNITS AND CONVECTORS)

📁 INSPECTED, REPAIR OR REPLACE

1. Insulation is missing or damaged around the outdoor A/C condensing units refrigerant lines. Recommend insulating these lines in order to aid in the proper operation and efficiency of these unit(s).
2. Cover at the south side HVAC unit in the attic was loose or not properly installed. Corrections recommended.



9.2 Item 1(Picture)



9.2 Item 2(Picture)

9.3 PRESENCE OF INSTALLED COOLING SOURCE IN EACH ROOM

✅ INSPECTED

10. HEATING

DESCRIPTION

The Property inspector shall inspect and operate permanently installed heating systems including: Heating equipment; Normal operating controls; Chimneys, flues, and vents, where readily visible; Solid fuel heating devices; Heat distribution systems including fans, pumps, ducts and piping, with supports, insulation, air filters, registers, radiators, fan coil units, convectors; and the presence of an installed heat source in each room. The inspector shall describe: Energy source; and Heating equipment and distribution type. The inspector shall operate the systems using normal operating controls. The inspector shall open readily operable access panels provided by the manufacturer or installer for routine homeowner maintenance. The inspector is not required to: Operate heating systems when weather conditions or other circumstances may cause equipment damage; Operate automatic safety controls; Ignite fireplaces or extinguish solid fuel fires; or Observe: The interior of flues; Fireplace insert flue connections; Humidifiers; Electronic air filters, Heat exchangers; or The uniformity or adequacy of heat supply to the various rooms.

STYLES & MATERIALS: HEATING

HEAT TYPE:

FORCED AIR

ENERGY SOURCE:

NATURAL GAS

NUMBER OF HEAT SYSTEMS

(excluding wood):

TWO

FIREPLACES:

Gas Appliance

Electric Fireplace Style Heater

Number of FIREPLACES:

FIVE

INSPECTION ITEMS: HEATING

10.0 HEATING EQUIPMENT AND AIR HANDLER

 INSPECTED

10.1 PRESENCE OF INSTALLED HEAT SOURCE IN EACH ROOM

 INSPECTED

10.2 CHIMNEYS, FLUES AND VENTS

 INSPECTED

10.3 GAS / LP FIREPLOGS AND FIREPLACES

 INSPECTED

11. INTERIOR VENTILATION

DESCRIPTION

The Property inspector shall inspect, describe and evaluate; The insulation and vapor retarders in unfinished spaces; Ventilation of attics and foundation areas; Kitchen, bathroom, and laundry venting systems; and the operation of any readily accessible attic ventilation fan, and, when temperature permits, the operation of any readily accessible thermostatic control. The inspector shall describe: Insulation in unfinished spaces; and Absence of insulation in unfinished space at conditioned surfaces. The inspector shall: Move insulation where readily visible evidence indicates the need to do so; and Move insulation where chimneys penetrate roofs, where plumbing drain/waste pipes penetrate floors, adjacent to earth filled stoops or porches, and at exterior doors. The inspector is not required to report on: Concealed insulation and vapor retarders; or Venting equipment that is integral with household appliances.

STYLES & MATERIALS: INTERIOR VENTILATION

EXHAUST FAN TYPES:

FAN

DRYER POWER SOURCE:

NATURAL GAS (recommend installing carbon monoxide detectors)
UNKNOWN

DRYER VENT:

FLEXIBLE METAL

INSPECTION ITEMS: INTERIOR VENTILATION

11.0 INTERIOR VENTILATION SYSTEMS (KITCHENS, BATHS AND LAUNDRY)

 INSPECTED

11.1 VISIBLE & ACCESSIBLE ATTIC VENTILATION FANS

 INSPECTED

🏠 12. SWIMMING POOLS AND SPA EQUIPMENT

📄 DESCRIPTION

The inspector shall observe inspect and operate: The Swimming Pool and Spa components that are visible and above ground. This will include, the operation of Normal Control Valves, Electrical panels, Lights, Switches and GFCI Protection, Bonding, Filters, Plumbing and Pump connections, Drain covers, Removable and Accessible Inspection panels covers in order to observe Heating units as well as the operation of their Safety Controls, Health and Safety Hazards. The inspector shall not; inspect for under ground leaks or the Body of the Pool or Spa, Pool slides, Diving Boards and Ladders. This inspection is a visual inspection only. Some leaks may not be visible at the time of inspection. Republic Home Inspections will not be responsible for any missing safety items or hidden defects. Any pool safety items required by local codes should be present prior to closing. If the client is unsure of the code requirements, the local code enforcement agency should be contacted prior to closing and all requirements should be met prior to closing. Inspection was limited to those areas which are above ground or water level. The only way to detect an underground leak in a supply line, buried pipe fitting, or pool surface crack is by observation of the persistent and continuous loss of water from the pool over an extended period of time. Pool filtering devices are not disassembled to determine the condition of any installed filter elements. Operation of time clock motors and thermostatic temperature controls cannot be verified during a visual inspection. Pilot lights on LP gas pool heaters are not lit during the inspection. **If not already installed, it is recommended that any doors and/or windows adjacent to the pool have alarm sensors installed to improve pool safety.**

✂️ STYLES & MATERIALS: SWIMMING POOLS AND SPA EQUIPMENT

STYLE:

IN GROUND HEATED

SHAPE:

CUSTOM

WALL MATERIALS:

TILE / PLASTER / GUNITE

FILTER TYPE:

CARTRIDGE

POOL SUB PANELS CAPACITY:

NOT IDENTIFIED

👁️ INSPECTION ITEMS: SWIMMING POOLS AND SPA EQUIPMENT

12.0 SWIMMING POOL ENCLOSURE (FENCES OR WALLS)

📁 INSPECTED, REPAIR OR REPLACE

FYI: If not already installed, it is recommended that any doors and/or windows adjacent to the pool have alarm sensors installed to improve pool safety. Recommend consulting the local governing authority for the proper current safety requirements, and then have the appropriate repairs made by a licensed contractor if needed.



12.0 Item 1(Picture)



12.0 Item 2(Picture)

12.1 GENERAL CONDITION OF SWIMMING POOL / SPA

INSPECTED, REPAIR OR REPLACE

FYI: Large gravel rocks were present at and around the pool equipment ground areas. Inspector was unable to view the grounds at pool/spa equipment areas. Inspector was unable determine if there are any leaks or determine if concrete pads were present under the heater & filter areas and or what the full condition of the concrete pads are in if they are present. Have a qualified licensed pool contractor check these areas.



12.1 Item 1(Picture)



12.1 Item 2(Picture)



12.1 Item 3(Picture)



12.1 Item 4(Picture)

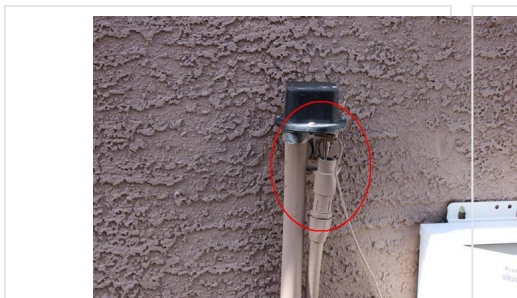
12.2 OPERATIONAL CONDITION OF POOL / SPA

INSPECTED

12.3 POOL/SPA ELECTRICAL SYSTEM, PANELS AND OPERATION (INCLUDING GFCI FOR POOL / SPA LIGHTS)

INSPECTED, REPAIR OR REPLACE

The conduit connection is loose, located at the pool/spa electrical component at the south side exterior wall to the left of control panel. Recommend that a licensed pool technician further evaluate the electrical components/equipment and make the appropriate repairs.



12.3 Item 1(Picture)



12.3 Item 2(Picture)

12.4 VISIBLE BONDING (SHARED GROUNDING OF POOL AND COMPONENTS)

☑ INSPECTED

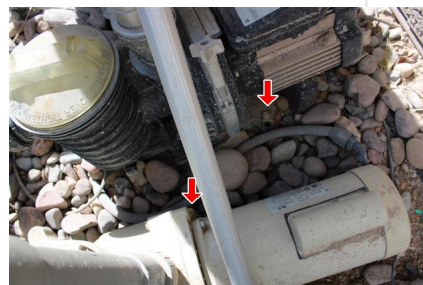
12.5 PUMP MOTOR(S) FOR POOL OR SPA

📄 INSPECTED, REPAIR OR REPLACE

1. FYI: Both of the pump/motor's were not properly secured down to solid platform at the time of inspection. Recommend further evaluation and repairs by a licensed pool contractor for safety enhancements.
2. The conduit connection is loose, located at the pump motor. Recommend that a licensed pool technician evaluate the equipment and make the appropriate repairs.



12.5 Item 1(Picture)



12.5 Item 2(Picture)



12.5 Item 3(Picture)



12.5 Item 4(Picture)



12.5 Item 5(Picture)

12.6 CONTROL VALVES / SWITCHES

INSPECTED, REPAIR OR REPLACE

Spa controls/switches at the spa did not operate when tested. Recommend further evaluation and repairs by a licensed pool contractor.



12.6 Item 1(Picture)

12.7 PLUMBING LINES AND CONNECTIONS

INSPECTED

12.8 DRAINS / SKIMMERS

INSPECTED

12.9 FILTER

INSPECTED

12.10 SURFACE OF WALLS AND FLOOR OF POOL OR SPA

INSPECTED

12.11 SURROUNDING POOL AREA (COOL DECKING AND COPING)

INSPECTED

12.12 POOL / SPA HEATER

INSPECTED

12.13 AUTO POOL FILL

☑ INSPECTED

12.14 BLOWER MOTOR FOR SPA

☑ INSPECTED

12.15 WATERFALL FEATURE

📄 INSPECTED, REPAIR OR REPLACE

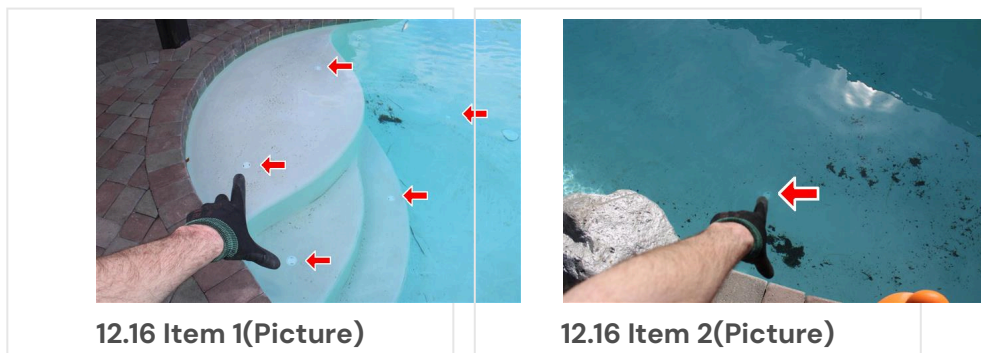
Evidence of leaking/deterioration of sealant at the back side of rock formations to spill way areas. Pool contractor recommended at needed locations.



12.16 CLEANING SYSTEM / COMPONENTS

📄 INSPECTED, REPAIR OR REPLACE

The surface cleaning pop up systems were not fully operational at all stations. Recommend you have the current owner and or a licensed swimming pool technician instruct you on the proper operation of this system. Then have it repaired if needed to ensure all pop up's are functioning properly. Recommend further evaluation and repairs by a licensed pool contractor.



12.17 SPA OPERATION

☑ INSPECTED

12.18 SPA WALLS AND FLOOR

☑ INSPECTED

12.19 SOLAR HEATER (CHECKED FOR OPERATION ONLY)

📄 NOT PRESENT, REPAIR OR REPLACE

FYI: Solar systems have been removed from the pool/spa equipment at the exterior wall. The old pipes in the grounds that use to operate these systems were still present/connected and were not properly removed or capped off. If the valves at the equipment are turned to the on position, to the old solar systems, then pool water will bubble up from the grounds, at the left side of pool/spa heater and at the backyard concrete paver tile decking areas next to barbecue. Recommend a complete systems evaluation and repairs, proper corrections, removal of all old solar systems/pipes that are currently connected to pool/spa equipment by a licensed pool contractor.



12.19 Item 1(Picture)



12.19 Item 2(Picture)



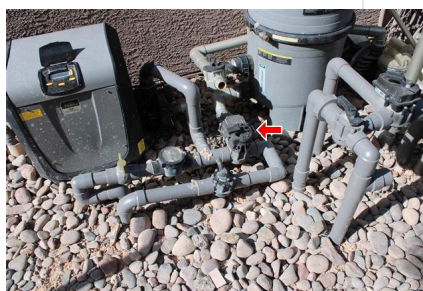
12.19 Item 3(Picture)



12.19 Item 4(Picture)



12.19 Item 5(Picture)



12.19 Item 6(Picture)



12.19 Item 7(Picture)

🏠 13. OUTDOOR COOKING EQUIPMENT

✂ STYLES & MATERIALS: OUTDOOR COOKING EQUIPMENT

FUEL SOURCE:

NATURAL GAS

👁 INSPECTION ITEMS: OUTDOOR COOKING EQUIPMENT

13.0 COOKING EQUIPMENT

☑ INSPECTED

Added Gas Line at the barbecue grounds does not appear to be properly installed & sleeved. Check for building permits. Recommend further evaluation and repairs/replacement by a licensed plumber.

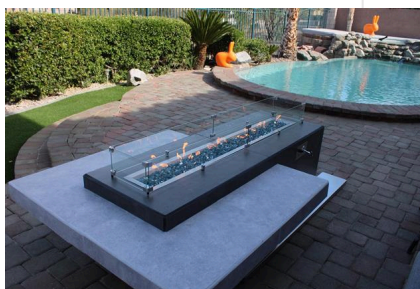


13.0 Item 1(Picture)

13.1 FIRE PIT

☑ INSPECTED

Complimentary photo of fire pit functioning.



13.1 Item 1(Picture)



RESIDENTIAL INSPECTION AGREEMENT

NOTE- THIS IS A LEGAL CONTRACT THAT DETAILS THE RIGHTS AND OBLIGATIONS OF THE PARTIES.
PLEASE READ ALL PAGES CAREFULLY

This agreement April 18, 2024 is between Rick Ayala
and Republic Home Inspections LLC. At the property address of
1452 Via Merano Street Henderson NV 89052.

Inspection Fee: \$ 625.00

SCOPE OF SERVICES PROVIDED

SCOPE OF THE INSPECTION: A home inspection is a noninvasive, visual observation and operation of the accessible systems and components of real property, including buildings and other improvements. Its purpose is a) to identify conditions that, in the professional opinion of the Inspector, are significantly deficient or b) to identify systems and components that are at the end of their service lives.

The Inspection is strictly limited to the examination of readily accessible, installed systems and components of homes by using normal operating controls and opening readily operable access panels, where applicable, of the following components of the Property: structure, foundation, exterior, roof, attic, major mechanical systems (heating, air conditioning, electrical, and plumbing), built-in appliances, and interior (floors, ceilings, walls, windows, and doors). All components will be inspected pursuant to the Standards of Practice set forth for Home Inspectors as contained in the Standards of Practice for Inspectors of Structures, Nevada Administrative Code Chapter 645D. Where multiple instances of the same component exist, a representative number shall be inspected. The observations of conditions are limited to those areas of the home which can be reached, entered, or viewed without difficulty, moving obstructions, or requiring any action which may result in damage to the Property or personal injury to the Inspector. Any additional services outside the list of components in this contract or in those rules must be specifically agreed to in writing between the Inspector and the Client.

LIMITATIONS ON SCOPE OF INSPECTION FOR CONDOMINIUM:

The Inspector's obligations are limited only to the condominium unit listed on the Agreement. The Inspector will not inspect any common areas of the building, including roofs, exterior walls, structural elements, or parking spaces assigned to the condominium unit. If the development has a pool or spa, the inspection will not include any inspection of a pool or spa. The Inspector shall not provide any advice on the adequacy of the

reserves held by a homeowners' association, nor shall the Inspector provide any advice on any scheduled repairs or maintenance of the common areas of the building.

The Inspector will prepare and provide the Client with a written report for the sole use and benefit of the Client. The written report shall document any deficiencies discovered in the Property's systems and components. A deficiency is a condition that, in the reasonable judgement of the Inspector, is not functioning properly. However, the fact that a system or component is near, at, or beyond the end of its normal service life is not, in itself, a deficiency in the system or component.

Nothing in the report and no opinion of the Inspector should be construed as advice to the Client to purchase, or not to purchase, the Property, or serve as a prediction of future conditions or the value of the Property. Further, any descriptions of deficiencies of the Property should not be interpreted as estimates for the costs of repairs to any system or component of the Property.

CLIENT'S DUTY: The Client understands and accepts that the Inspection and report, in accordance with this Agreement, are intended to reduce, but cannot eliminate, uncertainty regarding the condition of the Property. The Client is responsible for reviewing the permit history and for researching any legal actions or insurance claims involving the Property.

The Client agrees to read the entire written report when it is received and to promptly contact the Inspector with any questions or concerns regarding the Inspection or written report. The written report shall be the exclusive findings of the Inspector. Verbal representations not recorded within the Inspection report are not part of the Inspection.

The Client acknowledges that the Inspector is a generalist and that further investigation of a reported condition by an appropriate specialist may provide additional information on the condition of the Property. Should the Inspector's report reveal any additional conditions that require further investigation or repair, the Client agrees that any further evaluation, inspection, and repair work needs to be provided by competent and qualified professionals who are licensed and/or certified to perform the work.

In the event the Client becomes aware of a reportable condition not contained in the written inspection report, the Client agrees to promptly notify the Inspector and allow the Inspector and/or the Inspector's designated representative(s) to inspect said condition(s) prior to making any repair, alteration, or replacement. If the Client fails to so notify the Inspector and fails to allow an additional inspection, then any costs of such repairs, alterations or replacements will be entirely at the Client's cost without recourse against the Inspector.

LATENT DEFECTS: The Client agrees that the Inspection is not a technically exhaustive investigation or evaluation of every aspect of the Property. The Client acknowledges and agrees that the Inspection and the written report will not reveal every existing deficiency and future condition affecting the Property. The Inspector is not responsible for the non-discovery of any latent defects of the Property or any problems that may occur or become evident after the date of the Inspection. Latent defects of the Property include, but are not limited to: cracking, leaking, surface dislocations, or landslides resulting from, without limitation to, water leaks, land subsidence, or other geological

problems. The Inspector is not responsible for any defects that may manifest themselves in the future, any structural failures that may occur in the future, or damages that result from future repairs.

DISCLAIMER FOR KITEC, PLASTIC PLUMBING, NON VISIBLE CONNECTORS & FITTINGS: INSPECTORS AND REPUBLIC HOME INSPECTIONS ARE NOT PLUMBING SPECIALISTS. In the event that this home is identified as having COPPER ONLY VISIBLE or NOT VISIBLE. It is recommended that a certified licensed plumber verify plumbing, connectors and it's fitting types before the end of the due diligence period. Inspector can not be held responsible for nonvisible water supply lines connectors and fittings. Brands such as Kitec, PlumbBetter, Rehau, Wirsbo, Vangaurd and Polybutylene. Some types of plastic water piping and their associated connectors and fittings have been involved or are currently involved, or may become involved, in construction defect litigation due to alleged product failures. If the possibility of this house being involved or the possibility of having to replace the pipes and/or fittings in this home concerns you, you will need to contact a licensed, experienced, qualified Nevada plumbing contractor for consultation and further evaluation, before making a final decision on the purchase of this home. This Companies Home Inspector Generalizes not specializes and in no way acts as a plumbing specialist.

COMPLIANCE WITH BUILDING CODES: Consistent with the scope of the Inspection, as provided in this Agreement, the Inspector will identify items that may present a health or safety issue. However, the Inspector will not provide an opinion on compliance with any particular building code.

INSURABILITY: The Client understands that the Inspection will not determine the insurability of the Property. Insurance companies have different underwriting criteria, and the Inspector cannot be expected to determine how a particular system or component may affect insurability.

ENVIRONMENTAL AND HEALTH CONDITIONS: The Client agrees that the Inspection is not intended to detect, identify, or disclose any health or environmental conditions regarding the Property, including, but not limited to the presence of: asbestos, radon, lead, or urea-formaldehyde; wood destroying organisms, fungi, molds, mildew, feces, urine, vermin, pests, or any animal or insect; drywall that may have been manufactured with contaminated materials (including carbon disulfide, carbonyl sulfide and hydrogen sulfide), polychlorinated biphenyls (PCBs), or other toxic, reactive, combustible, or corrosive contaminants, materials; or substances in the water, air, soil, or building materials. The Inspector is not liable for injury, health risks, or damage caused or contributed to by these conditions.

If the Client wishes to have an inspection for any specific health or environmental condition, that must be covered by a separate addendum to this Agreement.

In addition to the above limitations on the scope of services, the Inspection will not include any engineering or architectural analysis. The report will not offer any opinion about the adequacy of the structural systems and components of the Property.

RE-INSPECTION OF COMPONENTS: In the event that the Inspector is asked by the Client to re-inspect a component or condition that has been repaired, the Inspector's scope of re-inspection will be limited to the components or conditions identified. The Inspector will not be responsible for any changed conditions in other components or conditions since the date of the original Inspection. Any re-inspection of repaired components or conditions will not determine if the repair is adequate, proper, or compliant with current building codes. Any re-inspection will only determine if visually identifiable deficiencies still exist.

LIMITATION OF LIABILITY

THE FOLLOWING CLAUSE LIMITS THE LIABILITY OF THE INSPECTOR - PLEASE READ CAREFULLY

THE CLIENT AGREES AND UNDERSTANDS THAT THE INSPECTOR IS NOT AN INSURER AND IS NOT WARRANTING OR GUARANTEEING THE ADEQUACY, PERFORMANCE, OR LIFE EXPECTANCY OF ANY STRUCTURE, ITEM, COMPONENT, OR SYSTEM OF THE PROPERTY. THE CLIENT FURTHER AGREES THAT, IF THE INSPECTOR OR ANY OF THE INSPECTOR'S AGENTS, EMPLOYEES, SUBCONTRACTORS, OFFICERS, OR SHAREHOLDERS ARE FOUND LIABLE FOR ANY LOSS OR DAMAGE DUE TO NEGLIGENCE OR THE FAILURE TO PERFORM THE INSPECTOR'S OBLIGATIONS IN THIS AGREEMENT, INCLUDING THE IMPROPER OR NEGLIGENT PERFORMANCE OF THE INSPECTION OR THE IMPROPER OR NEGLIGENT REPORTING OF CONDITIONS OF THE PROPERTY, **THE INSPECTOR'S MAXIMUM LIABILITY SHALL BE LIMITED TO TWICE THE AMOUNT OF THE PAID INSPECTION FEE.** THIS LIMITATION SHALL NOT APPLY TO ANY DAMAGES SPECIFICALLY ALLOWED BY STATUTE.

THIS LIMITATION OF LIABILITY SPECIFICALLY COVERS LIABILITY FOR: DAMAGED PROPERTY, LOSS OF USE OF THE PROPERTY, LOST PROFITS, CONSEQUENTIAL DAMAGES, SPECIAL DAMAGES, INCIDENTAL DAMAGES, GOVERNMENTAL FINES AND CHARGES, PUNITIVE DAMAGES, ATTORNEY'S FEES, AND COURT COSTS.

AT THE CLIENT'S OPTION, A **COMPREHENSIVE INSPECTION** WITHOUT LIMITATION OF LIABILITY IS AVAILABLE. A **COMPREHENSIVE INSPECTION** INCLUDES A CONTRACTOR, ENGINEER, AND ARCHITECT REVIEWING THE PROPERTY FOR A MINIMUM FEE OF \$2,500 (REQUIRES QUOTE). A **COMPREHENSIVE INSPECTION** REQUIRES A SEPARATE CONTRACT.

THIS LIMITATION OF LIABILITY SHALL NOT APPLY TO ANY DAMAGES CAUSED BY THE GROSS NEGLIGENCE OF THE INSPECTOR IN THE PERFORMANCE OF THE INSPECTOR'S OBLIGATIONS IN THIS AGREEMENT.

RESOLUTION OF DISPUTES

Any controversy or claim arising out of or relating to this Agreement shall be resolved through **Small Claims Court** (or similar court of limited monetary jurisdiction) in the jurisdiction applicable to this Agreement. In the event that the amount in dispute exceeds the jurisdiction of the applicable **Small Claims Court**, the dispute shall be settled by **binding arbitration** administered by Construction Dispute Resolution Services, or if unavailable, Resolute Systems, before a single arbitrator using its Commercial Arbitration Rules. The arbitrator shall have at least three years of knowledge and experience in the home inspection industry or similar knowledge and experience in construction. Each party agrees to pay its own costs of arbitration.

Any legal action or proceeding shall be brought in the County in which the Property is located.

ENFORCEMENT FEES AND COSTS

Any party failing to follow the RESOLUTION OF DISPUTES process identified above, shall be **liable for all fees and costs** associated with compelling or enforcing compliance with the RESOLUTION OF DISPUTES process.

TIME TO INITIATE ACTION

Any action regarding or arising from the condition of the Property and the Inspection and/or the written report must be filed and initiated by the Client no later than **one (1) year** following the date of the Inspection. Otherwise, the claim will be barred. If the matter is in arbitration, the arbitrator will be bound by the terms of this paragraph as a limitation on the arbitrator's ability to render an award in favor of the Client.

NO WARRANTIES OR GUARANTEES

The Inspection and the written report are not intended, nor shall they be used or treated by the Client or anyone else, as a guarantee or warranty expressed or implied, regarding the adequacy, performance, or condition of any aspect of the Property. The Client acknowledges and agrees that the Inspector is not an insurer of any inspected or non-inspected conditions of the Property.

RELIANCE BY THIRD PARTIES

The Client agrees and understands that the Inspection report provided to the Client under this Agreement is solely for the Client's exclusive use in evaluating the physical condition of the property. No representation is made by the Inspector as to the value of the Property.

If anyone other than the Client relies upon the inspection report, that person agrees to be bound by all of the terms and conditions in this Agreement.

ENTIRE AGREEMENT AND SEVERABILITY OF PROVISIONS

This Agreement contains the entire Agreement between the Client and the Inspector. This document supersedes any and all representations, both oral and written, among the parties. This Agreement may be modified, altered, or amended only in writing and having been signed by both the parties. Any provision of this Agreement which proves to be invalid, void, or illegal shall in no way affect, impair, or invalidate any other provision of this Agreement, and all such other provisions shall remain in full force and effect.

You may not assign this Agreement. If there is more than one Client, you are signing on behalf of all of them and you represent that you are authorized to do so for all Clients and/or intended beneficiaries. The provisions of this Agreement will be binding upon any party that takes title to the Property with the Client or claims title to the Property through the Client.

Client: Rick Ayala

Inspector: Randal W House

Dated: April 18, 2024

Dated: April 18, 2024

State License No.: IOS.535-RES
License Exp Date: September 30,
2024